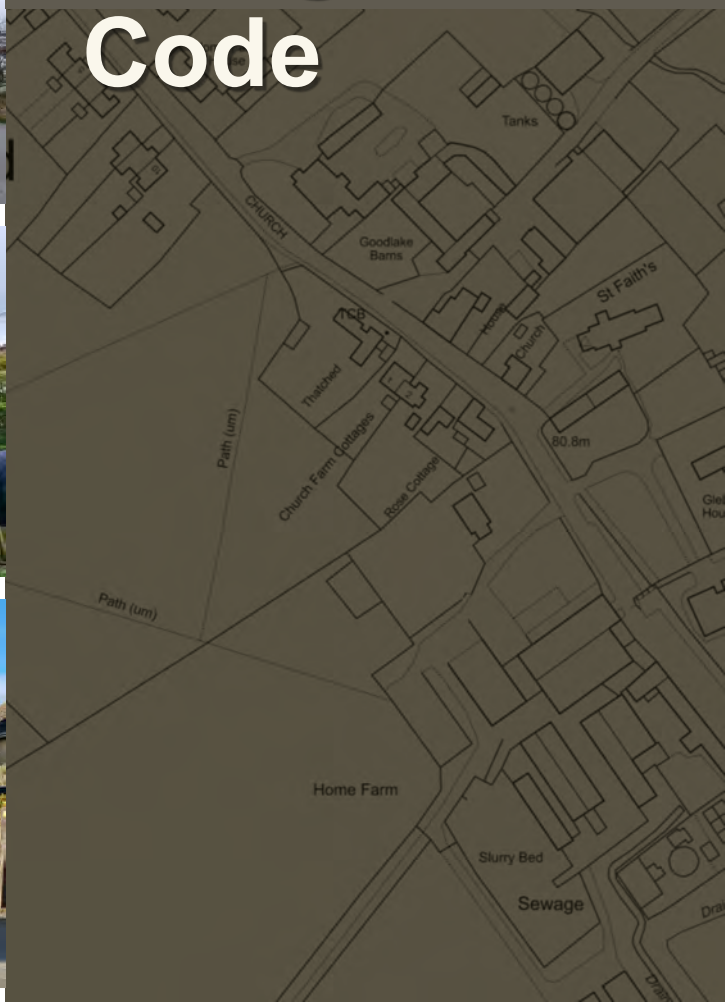




Bowlingalley Plantation

Shellingford Parish Design Code



Prepared by Bluestone Planning
In conjunction with
Shellingford Neighbourhood Plan Steering Group

V3.0 - Updated Mar 2025

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Purpose

The purpose of a Design Code is to ensure the provision of a harmonious and high quality built environment. The design of new developments, buildings and landscapes has a direct impact on the community and this can be related to quality and sensitivity of design, sustainability and integration with the surroundings. Conversely, poor design can have significant adverse outcomes.

This document builds on the Shellingford Character Appraisal to ensure that new development is proposed with a greater understanding of the local context. It is intended that the Design Code will be incorporated in the policies on design and growth for new development in the Plan area. It will also deliver the vision laid out for Shellingford within the Neighbourhood Plan.

National Policy

The National Planning Policy Framework (NPPF) sets out how the Government intends to deliver sustainable development through the planning process. It expressly states that sustainable development is about achieving positive growth, balancing economic, environmental and social considerations.

Whilst there is a strong presumption in favour of sustainable development, the framework also recognises the finite nature and value of our built heritage and the natural environment.

Design

Section 12 of the NPPF sets out the main policies in respect to the importance of design in the planning process:

- Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.
- Policies should ensure that developments are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change.

- Permission should be refused for development of poor design that fails to take the opportunities presented by a site.

- Great weight should be given to outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.

The Historic Environment

The following approach is set out for the historic environment:

- There should be a positive strategy for the conservation and enjoyment of the historic environment.
- When considering the impact of proposals on a designated heritage asset, great weight should be given to the asset's conservation. Substantial harm should be exceptional, whilst less than substantial harm should be weighed against the public benefits of the development.

Landscape

Section 15 seeks to protect and enhance valued landscapes by recognising the intrinsic character and beauty of the countryside and recognising the wider benefits including natural capital and ecosystem services.

National Design Guide

The National Design Guide was published in 2019 and sets out the characteristics of well-designed places and demonstrates what good design means in principle and practice. It supports the NPPF and is intended to be used by local authorities, applicants and local communities to establish the design expectations of the Government.

It identifies ten characteristics which underpin good design:

The local design guide should *"provide a local framework for creating beautiful and distinctive places with a consistent and high quality standard of design"* and that *"the level of detail and degree of prescription should be tailored to the circumstances and scale of change in each place, and should allow a suitable degree of variety"*.

The Council considers that Neighbourhood Plans should continue to prepare design guidance which relates only to specific neighbourhoods or sites.

In this regard, this Design Guide and Code complies with the overarching guidance and will sit under the District wide document.



This document will draw on the principles of the National Design Guidance to help inform the recommendations.

Vale of White Horse District Policy

Vale of White Horse District Council have prepared a Joint Design Guide with South Oxfordshire District Council, adopted in June 2022. It is intended to create a county-wide Design Guide that sets out at the local level what the *"specific, detailed and measurable criteria"* are that are most important to the people of this area of Oxfordshire.

Source: GOV.UK. (2021) National Design Guide. Accessed at: <https://www.gov.uk/government/publications/national-design-guide>

How to Use This Document

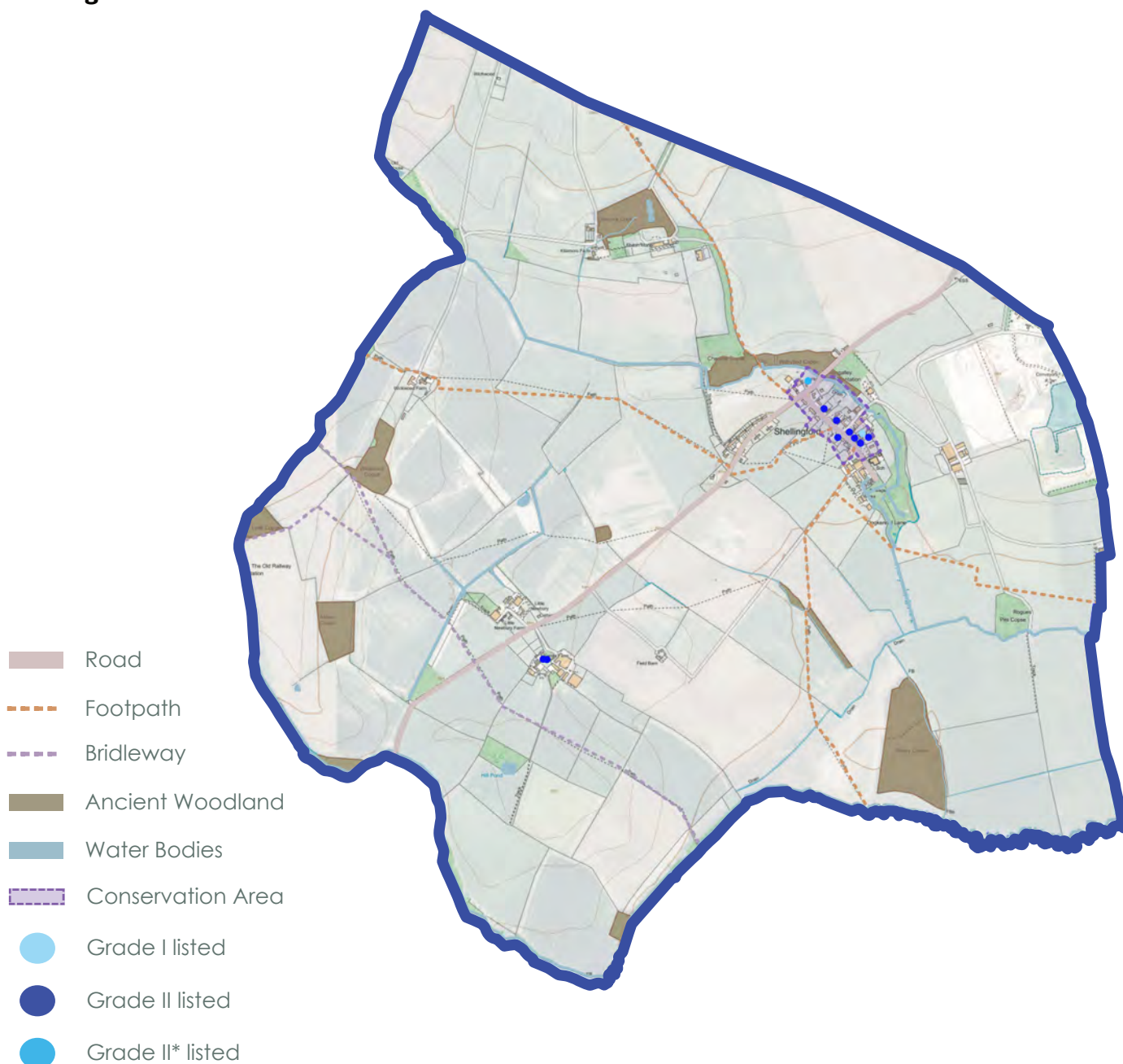
Applicants should assess their proposals against those design principles listed below. By following this process, applicants will be more likely to secure a well design scheme which is in keeping with the surrounding area.

The guidelines developed in this document focus largely on residential development. However, many of these principles are relevant to all new development. Considerations of design and layout must be informed by the wider context, considering not only the immediate

neighbouring buildings but also the townscape and landscape of the wider locality.

Shellingford Parish largely falls within the 'open country side' with built development largely focused in two areas around Church Street and Fernham Road. All new development must respect the existing character and should avoid inappropriate development in the countryside.

Shellingford Parish Structure



Contextual Analysis and General Principles

A thorough contextual analysis is essential for all proposals to highlight how the design has taken into account the characteristics of the site and its surroundings.

There are also a number of key principles and objectives which should be adhered to in any development proposal. These include:

1. **Settlement Pattern** - respect the existing form of development, particularly within the historic core of Shellingford in order to preserve the character;
2. **Streets and Public Spaces** - preserve or enhance the established character and features relating to the public realm;
3. **Layout** - Ensure all components e.g. buildings, landscapes, parking and open space are well related to each other;
4. **Built Form** - respect the existing settlement in terms of physical form and architecture, particularly heritage assets;
5. **Scale, Height, Form and Massing** - respect the locally specific building forms found in the area;
6. **Materials, Appearance and Details** - adopt a contextually appropriate palette of materials and colours; and
7. **Infrastructure** - design all utilities and drainage infrastructure from the outset to be integrated without causing unacceptable harm to retained features.



CODE SH.01 - Design and Access Statement - Local Requirements

- a. **Proposals for new development, redevelopment, infill development and replacement dwellings need to be based on an understanding of the local area.**
- b. **All new development should be based on a full and detailed contextual analysis and justification behind the proposals and how it has been designed to integrate and enhance the site and the wider area.**

Development in the Parish

Suburban development is often characterised by loose grained, lower to medium density housing located on the outskirts of a settlement. Whilst normally associated with towns, many rural villages are also subject to larger scale housing estates, which often do not reflect their rural character. These estates usually contain developer's 'standard house types' and can generally be found throughout the country. They often have more limited planting, which is usually ornamental rather than native.

Rural development, in contrast, is characterised by lower density housing set within the landscape, typically with a mix of detached houses, cottages, and farms. They generally contain a high proportion of older buildings using local materials and building forms.

They are often served by a limited network of roads and public transport and they typically have fewer amenities than suburban areas.

The parish is characterised by historic clusters of residential and commercial development, largely centred around or related to farmsteads, farmhouses and the homes of important landowners. This has shaped the patterns of development and the historic layout.

Historically a linear village, little has changed over time and the original format can clearly be seen.

There has been no building of modern estates or generic standardised building forms, instead a clear local context is visible for both historic and modern development.

It is clear from the character assessment that the area is low density in keeping with a rural settlement in the open countryside.

Where recent modern development has taken place this has been softened by good levels of landscaping. The main visibly detrimental factor is car parking on the street. Left uncontrolled, any future development would have an increased negative impact on the street scene and erode the parish's rural character.

This is not to say that all modern development is considered unfavourably. There are a number of examples of new development within the wider area which are considered positive examples. Such development has been considered not in isolation, but with regard to the surroundings and drawing on positive qualities and features nearby.

Conversions and extension of former traditional farmyard layouts and outbuildings nearby have often been successful and can lead to achieving a higher density without loss of character.

Infill and Small Site Development/Redevelopment

Given the nature of available space in the parish and the development that has taken place on brownfield and greenfield sites within the last twenty years, it is unlikely that major development sites will come forward during the next 15 years. However, it is possible that smaller sites of 1 or 2 houses may be proposed.

Infill plots and small development sites can alter the character of a village if not carefully designed.

Infill development can be integrated provided the design and layout of new buildings respect the traditional street scene and character of the area.

Developments must respect the parish's rural character and be sensitive to the context of the site. The scheme should reflect the existing relationships between buildings, open spaces, views, the landscape, use of materials and other features which are locally distinctive.

Edge of Settlement

Shellingford - Settlement Form and Edge



← Edge of built area visible to public views

Edge of settlement area sensitive to development

Infill Sites

Example of Village Infill



- Infill should utilise the same plan form as surrounding dwellings and be inserted in an unimportant gap or where previous dwellings may have stood.
- Elevational treatment can be modern if influence is still drawn from surroundings.
- The building line must be maintained.

CODE SH.02 - Layout and Siting

- a. Development should consider the settlements and their immediate surroundings and should not be considered in isolation;
- b. New development should be designed to integrate with the morphology of the settlement by looking at the pattern and grain of successful development and adopting similar characteristics, as identified in the analysis of the Shellingford Character Appraisal to which the site relates;
- c. The layout of new development should take precedent from the best examples of development within the settlements and the wider parish;
- d. Development should be sited to respond to the landscape context as well as the surrounding built form and should include consideration of the topography of the area and any important views;
- e. Edge of settlement development should gradually transition to the surrounding landscape context, with a low density edge. Planting of native species should be provided to an appropriate level to soften the built form;
- f. New development should reflect the rural character of the settlement and and not seek to create a more urban or suburban appearance (see Page 7); and
- g. Large-scale, generic estate developments are not appropriate in this in the wider parish or edge of settlements. Where major development is approved, smaller clusters of development in a specific style or character area, or individually designed plots are preferable and should reflect the organic growth patterns of the settlement. By this it is not intended that large scale, uniform development with limited standard house types, would be appropriate;
 - Creep or elongation of the settlement into the open countryside will not be supported.

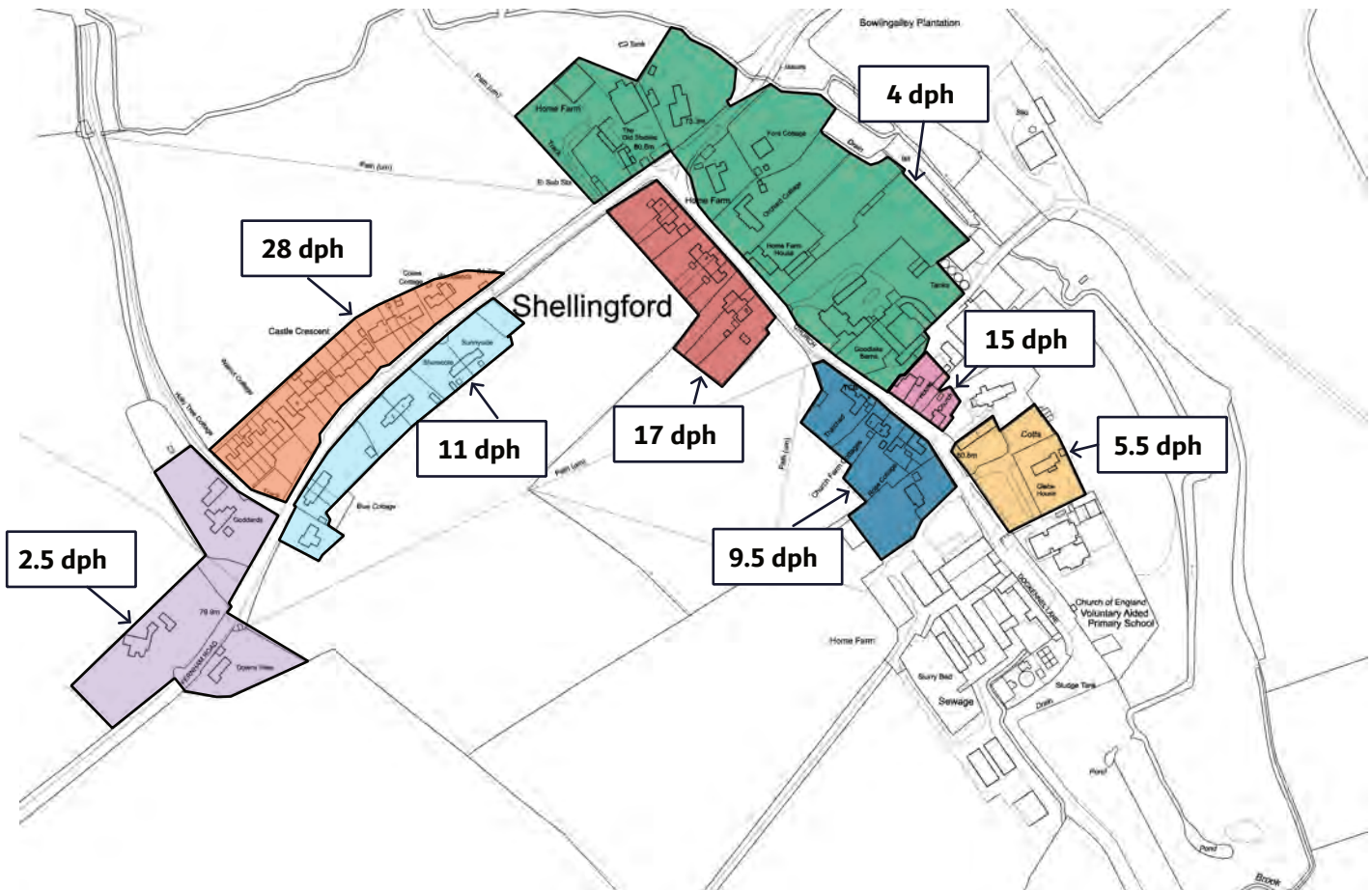
Density

Recent replacement dwellings, extensions and infill development have not always respected the density of the area in which it is located. This has led to incongruous modern development which is dominant and discordant in the street scene.

The average density of the parish is extremely low.

This is highlighted by a density plan of Shellingford below.

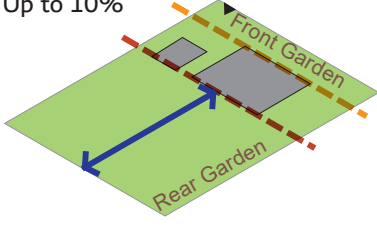
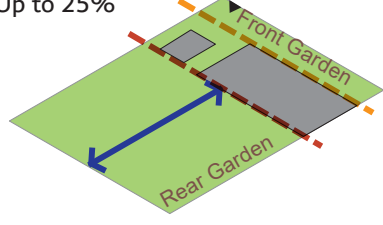
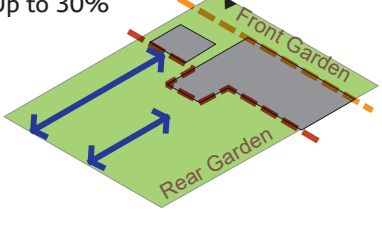
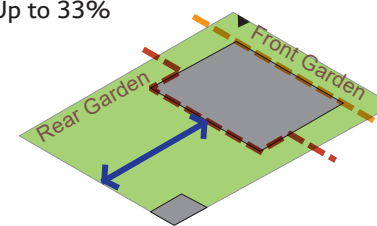
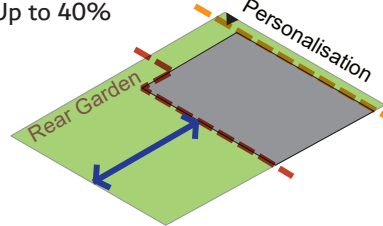
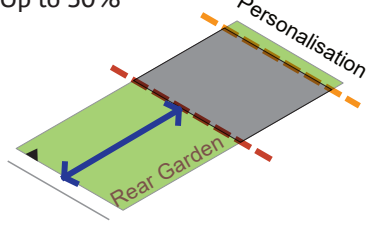
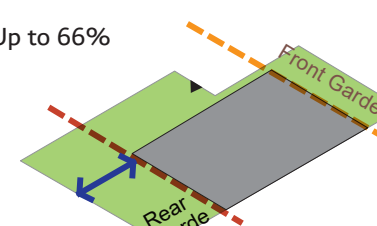
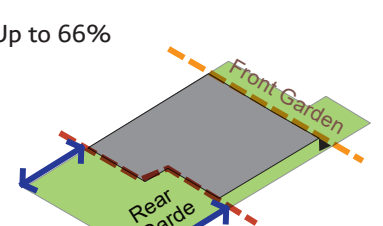
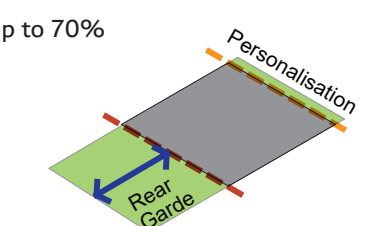
Dwellings per hectare (dph) as shown is not the only way of measuring the density of an area. Plot coverage/ratios are also a key indicator of density and are highlighted overleaf.



CODE SH.03 - Density

- New proposals must demonstrate how they are in keeping with surroundings with regard to plot sizes, gaps between buildings, densities and plot coverage in the wider area.
- Given the relatively low density of much of the parish, a balance must be struck between making best use of land and the adverse impact on these character areas.
- A significant increase in density is unlikely to be acceptable where it results in substandard amenity space or reduces space for adequate landscaping between plots. Over-development of plots should be resisted.
- In exceptional cases it may be appropriate to replace single conversions with a small group of dwellings - each assessed individually.
- Where an increase in density is required, development could also be built to look like a single, larger building which is then subdivided.
- The density level of each area has been defined (and illustrated on plan above and plot coverage examples overleaf), appropriate densities should be respected for each individual site and referred to in the Shellingford Neighbourhood Plan policies.

Plot Coverage and Plan Form Examples by Setting

COUNTRYSIDE		
<p>Detached - bungalows in large gardens or 2 storey farmhouses in the countryside - on plot parking.</p> <p>Up to 10%</p>  <p>Very low ratio of plot coverage - significant space on all sides - allows for outbuildings. Excellent garden depth for property size.</p> <p>Appropriate to countryside setting only as does not make best use of land.</p>	<p>Semi-detached or End of Terrace - 2 storey farm dwellings or cottages in the countryside - on plot parking.</p> <p>Up to 25%</p>  <p>Very low ratio of plot coverage - significant space to the side - allows for outbuildings. Excellent garden depth for property size.</p> <p>Appropriate to countryside setting or edge of settlement.</p>	<p>Semi-Detached or End of Terrace - 2 storey farm dwellings or cottages in the countryside - on plot parking.</p> <p>Up to 30%</p>  <p>Very low ratio of plot coverage - significant space on to the side - allows for outbuildings. Good garden depth for property size.</p> <p>Appropriate to countryside setting or edge of settlement.</p>
COUNTRYSIDE TO VILLAGE		
<p>Detached - larger houses in either countryside or village setting with on plot parking.</p> <p>Up to 33%</p>  <p>Low ratio of plot coverage - significant space on all sides. Good garden depth for property size.</p> <p>Appropriate to countryside/edge of settlement or as landmark building in village.</p>	<p>Semi-detached - large houses usually in village setting as part of a roadside frontage and parking/on plot.</p> <p>Up to 40%</p>  <p>Mid ratio of plot coverage - significant space to side. Good garden depth for property size.</p> <p>Appropriate to countryside/edge of settlement (with deeper front garden) or in village adjacent to similar sized plots.</p>	<p>Mid Terrace - 1 to 2 storey houses usually in village setting as part of a roadside frontage and parking.</p> <p>Up to 50%</p>  <p>Mid ratio of plot coverage - terraced property - usually with rear access to garden. Proportionate garden depth for property size.</p> <p>Appropriate to village usually along road frontage in centre or in courtyard development inc farm conversions.</p>
SUBURBAN		
<p>Detached - modern estate property in village with frontage/on plot parking.</p> <p>Up to 66%</p>  <p>High ratio of plot coverage - space to one side. Poor rear garden depth for property size and less usable if overshadowed.</p> <p>Rarely appropriate suburban deep plan form, with limited amenity space.</p>	<p>Semi-detached - modern estate property in village with frontage or courtyard parking.</p> <p>Up to 66%</p>  <p>High ratio of plot coverage - limited green space and narrow access to the side. Adequate garden depth for property size if not overshadowed.</p> <p>Rarely appropriate suburban plan form, with limited amenity space.</p>	<p>Mid Terrace - modern estate property in village with on street or courtyard parking.</p> <p>Up to 70%</p>  <p>Very high ratio of plot coverage - no space or access to the side. Limited garden depth for property size and less usable if overshadowed.</p> <p>Rarely appropriate suburban square plan form, with limited amenity space.</p>

Buildings Plots and Lines

The way buildings sit in relation to the street can affect the public realm and the integration of a development into the surroundings.

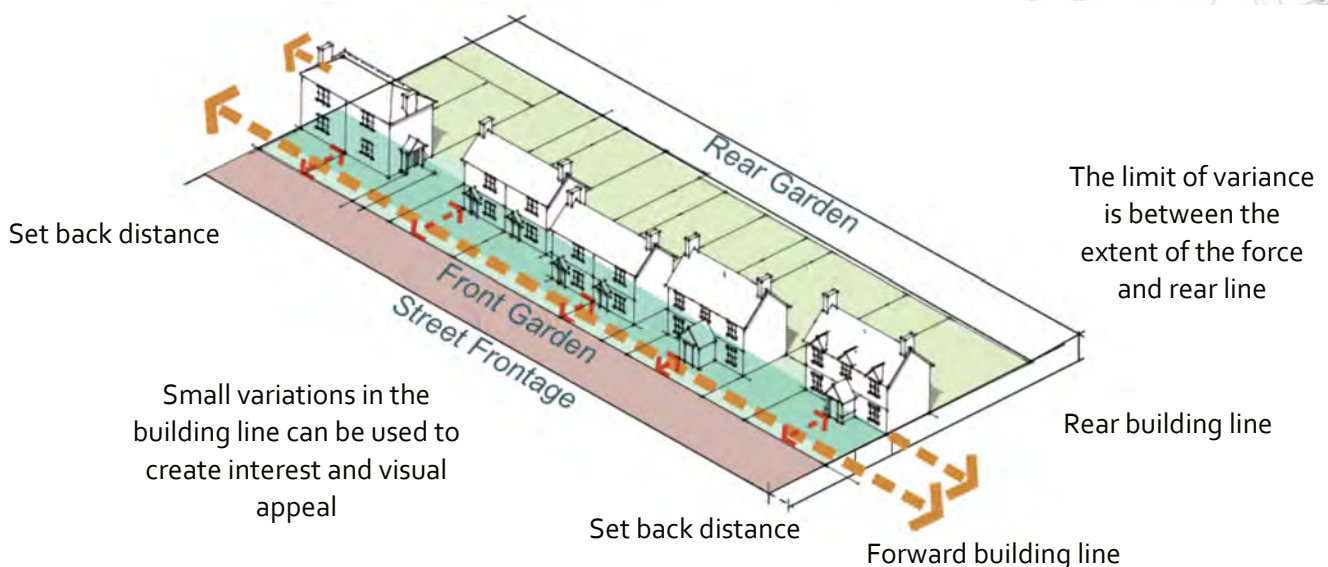
Building Lines

In general dwellings along Church Street tend to be closer to the street, where as dwellings along Fernham Road are set further back behind enclosed front gardens. However most dwellings are set back behind front gardens.



Buildings Within their Plot

Approximate building lines within Shellingford



CODE SH.04 - Building Lines and Frontages

- Many areas have clearly defined building lines which should be respected. The set back of new buildings should also respect the existing building line along the street.
- The building line can have subtle variations in the form of recesses and protrusions, but should generally form a unified whole.
- New development should not mix front elevations with rear elevations.
- Existing front gardens should be retained to ensure a green setting to the building, enhance the public realm and provide a suitable buffer between the built form and the surrounding rural setting.

In any new development appropriate privacy measures should be taken into account from the early design stage. Issues such as overlooking from streets, private and communal gardens, courtyards and open spaces into private property (particularly homes) should all be considered.

Fronts and Backs of Buildings



Streets should not mix fronts and backs. The frontage of a property should be publicly visible as opposed to the rear elevation which should be afforded privacy.

Overshadowing



9am



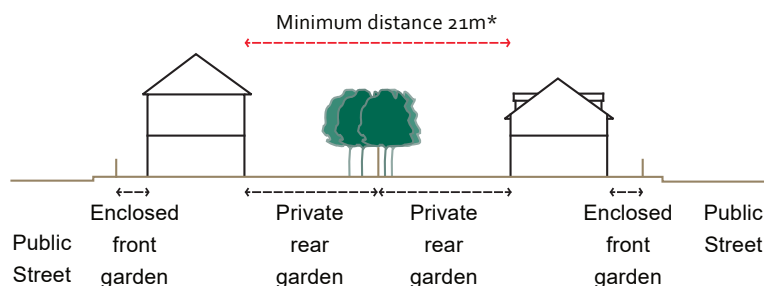
11am



1pm

This example of an overshadowing study highlights where north facing plots are unlikely to receive adequate amounts of light. In this instance, it may be advisable to reorient the buildings or consider alternate roof forms to allow light through.

Overlooking and Privacy



**The distance between dwellings and the length of private rear garden areas should increase depending on the heights of buildings, topography and level of intervening vegetation*

There should be some flexibility as it is not only distance between buildings, but also the position of windows in each elevation and the angles to which the buildings are sited. Distances may be reduced where it can be justified that no overlooking will take place.

CODE SH.05 - Privacy, Overlooking and Overshadowing

- Consider the orientation of buildings, setback from the street, the type of front garden landscaping propose, building and fenestration design to balance privacy between frontage living spaces and views into buildings with the need for overlooking of the street.
- It is important to clearly distinguish between private and public space. Clear ownership boundaries should be provided such that these spaces have the correct level of privacy and are accessible only to the appropriate user group.
- Rear overlooking of other garden and amenity spaces as well as direct overlooking into properties should be minimised. This can be achieved by implementing minimum standards between rear to rear elevations as shown above. Where there is sloping topography or significant landscaping to consider, such distances can be reassessed accordingly.
- Overshadowing of properties and their amenity spaces must also be considered. In particular, north facing gardens, where short or narrow, are rarely going to provide a usable space if surrounded by buildings and overlooked. Where it is possible that spaces and habitable room windows may be overshadowed, an overshadowing study should be undertaken.

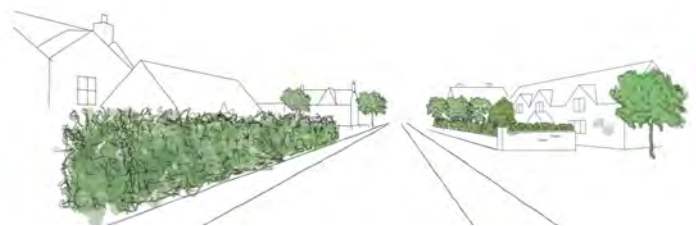
The Character Appraisal has identified that there has been unsympathetic modern development, which has led to the removal of key vegetation. This is particularly a problem where the built form is contained by the landscape and its reduction reveals a hard, urban edge which is out of keeping with the remaining verdant character.

Modern road standards, usage, and the need for upgrades with each development proposal often introduce paved footways, new kerbing, signage and road markings. These changes tend to urbanise the area and often result in the removal of existing landscaping to accommodate them.

The Vale of White Horse Landscape Character Assessment also identifies a loss of field boundaries and poor management of hedgerows.

The objectives are to:

- retain and enhance the current hedgerow network,
- plant trees alongside watercourses,
- extend and enhance the varied wetland habitats, and
- minimise urbanising road upgrades and retain the rural character.



CODE SH.06 - Landscaping and Green Infrastructure

- New development should minimise the removal of vegetation, particularly in areas where it is identified as a key characteristic in the Shellingford Character Appraisal.**
- New development should reinforce the well-managed network of grass species rich verges, hedgerows and woodland lining the routes through the area, which are characteristic of the rural landscape.**
- In areas on the edge of settlements or in the countryside, the natural landscape is the dominant feature and the buildings should be secondary.**
- Vegetation can be used to blend buildings into their surroundings and draw the natural landscape into the settlement.**
- New developments should incorporate existing native trees and shrubs and avoid unnecessary loss of flora. Any trees or woodland lost to new development must be replaced. Native trees and shrubs should be used to reinforce the more rural character of the area. Mature and veteran trees should be retained in particular.**
- Retention of all trees and hedgerows, especially along property boundaries is vital. If trees and hedges do need to be removed, they should be replaced within the site.**
- Natural surveillance takes place when people can see what is happening where they live. Crime rates are less in locations where people believe they are being watched.**
- Maximise opportunities for communities to become self-policing.**
- Development adjoining public open spaces and important gaps should enhance the character of these spaces by either providing a positive interface (i.e. properties facing onto them to improve natural surveillance) or a soft landscaped edge.**

CODE SH.06.1 - Trees and Hedgerows

Applicants must demonstrate how they have complied with the tree and hedgerow guidance as set out below and as befits their site and its circumstances.



The settlements in the parish are set in mature landscaping with many long distance views towards the built form from the open countryside.

Tree planting has an important role to play in the natural and man made environment. They provide shelter and contribute to reducing carbon emissions and cleaning the air.

The ecological benefits and connections should be maximised. Tree planting and maintenance of existing trees can increase biodiversity. Consideration should also be given to planting the correct trees in right location to ensure that any placement does not result in a loss of biodiversity units

Tree density can be used as landmarks and signposts. For example, avenues of trees leading to a destination such as towards green spaces or as a focal feature for the purposes of legibility.

Trees can play a role in screening and noise reduction and should be utilised to reduce noise or visual impacts where necessary.

When choosing a species, designers and land owners must consider the following:

- **Use Potential** - park, paved area, compatible with drainage, garden size, compatible with road type.
- **Mature Size** - small <10m up to extra large >25m - as well as height think about root protection areas to avoid issues with utilities and services.
- **Crown Form** - the shape of the crown can be aesthetic but also determine planting

distances and the effect of the canopy on the space below. Would the planting overcrowd the street scene? Would it create unacceptable shade?

- **Crown Density** - as above look at whether a dense canopy provides the level of enclosure required or whether a light, open crown would be preferable.
- **Natural Habitat and Environmental Tolerance** - choose the right tree for the location given the soil type, levels of sunlight, water and potential for drought etc.
- **Aesthetic and Ornamental Qualities** - does the tree flower or fruit in a way which does not cause a nuisance? Does the tree introduce a valuable aesthetic to the area? Does the seasonal variation add further interest?

A diverse mix of species should be sought to reduce the risk of passing on inter-species diseases.

New development must be designed around existing trees wherever possible. Where it is unavoidable that trees are lost, they should be replaced at a rate of 2:1 by native species.

New planting of conifers, laurel and rhododendron is not supported as a hedgerow treatment. These are not native and can out compete native plants.

Appropriate species are set out overleaf.

List of Native Trees

- | | |
|--|---|
| <ul style="list-style-type: none"> • <i>Acer campestre</i> - Field Maple - (M) (D) (Clay, Loam, Sandy) • <i>Alnus glutinosa</i> - Alder - (M) (D) (Clay, Loam, Sandy) • <i>Betula pendula</i> - Silver Birch - (L) (D) (Clay, Loam, Sandy) • <i>Betula pubescens</i> - Downy or White birch - (M) (D) (Clay, Loam, Sandy) • <i>Carpinus betulus</i> - Hornbeam - (L) (D) (Loam, Sandy) • <i>Corylus avellana</i> - Hazel - (S) (D) (Loam, Sandy) • <i>Crataegus laevigata</i> - Hawthorn (Midland) - (S) (D) (Loam, Sandy) • <i>Crataegus monogyna</i> - Hawthorn (common) - (S) (D) (Clay, Loam, Sandy) • <i>Fagus sylvatica</i> - Beech (common) - (L) (D) (Loam, Sandy) • <i>Ilex aquifolium</i> - Holly - (S) (D) (Loam, Sandy) • <i>Juniperus communis</i> - Juniper (common) - (S) (C) (Clay, Loam, Sandy) • <i>Malus sylvestris</i> - Crab Apple - (S) (D) (Loam, Sandy) • <i>Pinus sylvestris</i> - Scots Pine - (L) (D) (Clay, Loam, Sandy) • <i>Populus nigra</i> - Black Poplar - (L) (D) (Clay, Loam, Sandy) • <i>Populus tremula</i> - Aspen - (L) (D) (Clay, Loam, Sandy) • <i>Prunus avium</i> - Sweet Cherry (M) (D) (Clay, Loam, Sandy) | <ul style="list-style-type: none"> • <i>Prunus padus</i> - Bird Cherry (M) (D) (Clay, Loam, Sandy) • <i>Quercus petraea</i> - Sessile Oak - (L) (D) (Clay, Loam, Sandy) • <i>Quercus robur</i> - English Oak - (L) (D) (Clay, Loam, Sandy) • <i>Salix caprea</i> - Goat Willow - (S) (D) (Clay, Loam, Sandy) • <i>Salix pentandra</i> - Bay Willow - (S) (D) (Clay, Loam, Sandy) • <i>Sorbus aria</i> - Whitebeam - (M) (D) (Clay, Loam, Sandy) • <i>Sorbus aucuparia</i> - Rowan - (S) (D) (Loam, Sandy) • <i>Sorbus torminalis</i> - Wild Service Tree - (M) (D) (Clay, Loam, Sandy) • <i>Taxus baccata</i> - English Yew - (M) (C) (Clay, Loam, Sandy) • <i>Tilia cordata</i> - Lime, small-leaved - (L) (D) (Clay, Loam, Sandy) • <i>Tilia platyphyllos</i> - Lime, large-leaved - (L) (D) (Clay, Loam, Sandy) • <i>Tilia x europaea</i> - Lime, common - (L) (D) (Clay, Loam, Sandy) |
|--|---|
-
- | | |
|------------------|---------------------------------|
| (L) - Large >25m | (M) - Large >25m |
| (S) - small <10m | (D) - Deciduous |
| (C) - Coniferous | (Clay, Loam, Sandy) - Soil type |

List of Native Hedgerow Plants

- Hawthorn
- Blackthorn (larger, fast growing)
- Field maple (neutral soils)
- Hazel
- Holly
- Guelder rose (neutral soils)
- Hornbeam (damp soils)
- Beech
- Wild service tree
- Field rose



CODE SH.07 - Views

The Shellingford Character Appraisal has identified a number of important views (as shown below). These are considered to be part of the key character of the parish and should not be adversely impacted upon by new development.

- a. Developments should make the most of existing landscape features and views as highlighted in the Character Appraisal and set out below.
- b. New development that is well integrated into the landscape setting should be encouraged.
- c. Retain the gaps between existing buildings and provide gaps in new development to secure through views towards the natural landscape.
- d. The character areas on the edge of the settlement and around the farms benefit from surrounding rural views from roads and Public Rights of Way, many of which are long distance. Any new development should provide sufficient assessment of the impact on such views.
- e. Whilst glimpsed views of built form may be appropriate, such as listed buildings, a newly built harsh, urban edge would not be in keeping with the character of the area.
- f. Important views into and out of the conservation area and to listed buildings must be maintained.





Existing



View Blocked by Development



View Maintained by Development

Maintaining Important Views



Views Towards the Conservation Area from the Field Opposite Shellingford House

CODE SH.08 - Settlement Setting

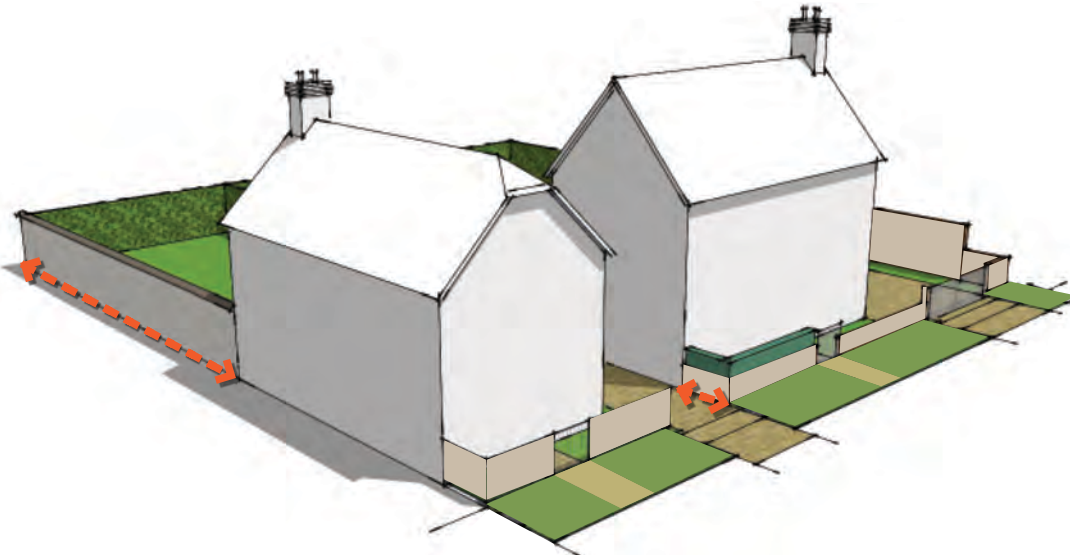
- The wider setting of the settlement should be protected. Any future developments should be carefully controlled to protect open views and green spaces.
- It is important to preserve the separation of the settlements.
- The land between settlements contain limited pockets of built form. These are

usually relating to farm buildings and cottages, which are considered appropriate to the rural context. The land between Shellingford and Draycot Cerne is former parkland. In view of this, unless sufficient justification exists there should be a presumption against development (with the exception of agriculture and some quiet recreational uses).

CODE SH.09 - Front and Rear Gardens



- a. Proposals which affect the frontage of existing properties shall be accompanied by detailed plans which show a commitment to retaining and enhancing attractive, well-vegetated gardens.
- b. Vegetation planting in private front gardens should be in keeping with the context of the relevant character area. Native species should be encouraged to strengthen biodiversity and the natural environment.
- c. Native vegetation and mature trees should be retained and links should be formed where possible with hedges, wildflower meadows, old trees, ponds and other landscaping features.
- d. Where structures along the frontage are proposed, sufficient planting should screen elements in view of the street.
- e. Rear gardens containing mature vegetation within should be retained where possible to ensure that each building has an attractive, verdant setting.
- f. Front gardens should not be dominated by large areas of hard surfacing either in aggregate or paving formats.
- g. Where hard-surfacing for car parking in front gardens is necessary, it should be screened from view of the street by trees and hedge planting.
- h. Proposals that provide SUDs solutions and permeable paving are preferable.
- i. Rear garden depth should be at least 10.5 metres, preferably over 15 metres in depth, where rear gardens are less than 12 metres, the overall level of amenity space should be considered including garden areas to the side.

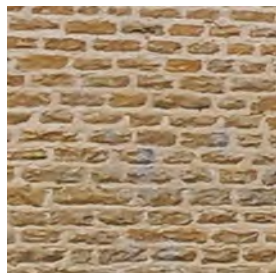
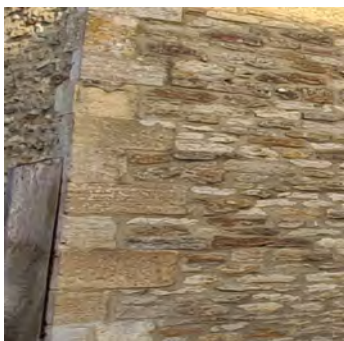
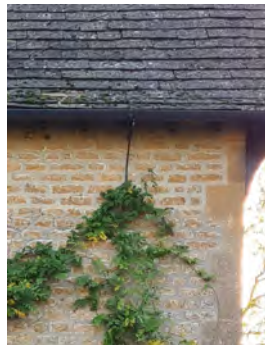
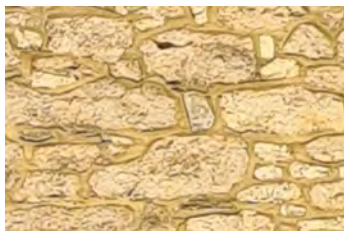


- j. The size of a garden should relate to the property and setting and provide suitable amenity space for occupants, but should not set a precedent for sub-standard garden sizes or lead to a loss of privacy.
- k. Family gardens should provide at least 100sq. m of usable space.
- l. A garden which does not receive sunlight for at least 2 hours per day over at least 50% of the area available is unlikely to be considered as appropriate usable space.
- m. Front gardens should be at least 3+ metres in depth, unless the surrounding context dictates otherwise.

The older properties and cottages in the parish make a positive and distinctive contribution to the character of the area. Their use of traditional building, forms, materials and detailing are key to this. Where possible, new development should be encouraged to retain features of interest, original building forms and materials. New development should allow for the original building to still be read and understood.

Walls

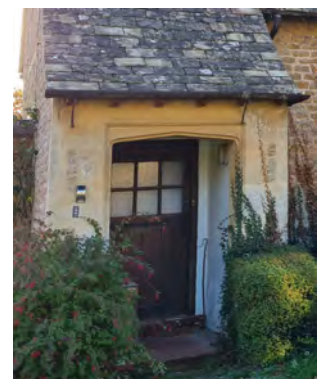
Typical walling materials include rubble or coursed limestone, often with quoins. Roughcast render, either left plain or painted in neutral colours, is often used, sometimes featuring contrasting quoins.



CODE SH.10 - Materials and Detailing

- **Materials used in new infill and redevelopment** should complement the materials typical of the existing buildings in the street.
- **Materials proposed for the use in building extensions** shall complement those used in the existing building. Differing materials on an extension or a different design approach may result in a development appearing incongruous. Whilst an extension may intentionally be designed to be contrasting, such an approach will need to be carefully justified and its success will rely on a high quality design.
- **Materials used for the repair or alteration of buildings, for new buildings and for surfacing and boundaries** shall complement the existing high quality palette of materials that typifies the character of the area. Proposals for innovative and complementary material options should also be encouraged, but must be well justified as to why they are appropriate.
- **Materials that are durable, high quality and easy to maintain are preferable.** Poor quality materials are generally not supported.
- **Small, simple stone or timber external porches** are common, preferably with roofing to match the main building.
- **Doors can be noticeable features and, as with windows, they can have a dramatic impact on the appearance of a property.** Careful consideration should be given to the **colour palette.** **Doors** should be simple and well-proportioned; pastiche of historical designs should be avoided.
- **In new houses windows** should complement the scale and vertical and horizontal pattern of the wider street scene of windows reflected in local architectural detailing.

- Use **windows** as part of the overall design approach. In more traditional designs the positioning of windows within their reveals is important to add visual interest. See design palettes below.
- The use of **roof windows** should be small and generally contained within the roof form. Flat roof dormers are rarely acceptable. Conservation roof lights are preferable even where the property is outside of the conservation area.
- In new development, **architectural detailing** shall typically display elements that balance with those on existing traditional buildings in terms of interest, scale, texture and form. The majority of properties are fairly simple in appearance, becoming more decorative with their level of importance.
- Existing **period detailing** should be retained and the covering over or removal of such elements is not encouraged.
- The design of extensions and new buildings should reflect the level of **detailing** on adjacent properties to ensure that the development is in context with its surroundings.
- Traditional elements often include detailing around windows including stone or wooden cills, stone quoins and masonry carvings and stone door surrounds.
- The level of **architectural detailing** on a new building should reflect that of buildings in the immediate surroundings. For detached buildings, an approach which avoids direct pastiche is encouraged, whereas for extensions to an existing building or group of buildings, continuity may be appropriate.
- Detailing should be undertaken with care and using high quality, sustainable materials.



Porches and Doors



Roofing

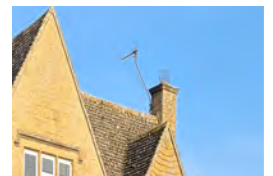
Stone slates are most common, with more modern buildings often using Welsh slates. Clay double Roman pantiles are also found, however modern concrete versions are not as successful. Thatch is also common on older cottages.



Windows



Chimneys



There are a variety of window forms in the parish with the majority of residential windows of a cottage casement style with divisions in stone and timber. Sash windows are also found on commercial properties and on some of the more high profile homes. Agricultural buildings have functional windows for ventilation and access purposes.

Chimneys are found throughout the parish, often well detailed as features in stone or buff brick.

Roof Windows



Roof windows are small subservient features, generally fully within the roofscape. Larger gable details are also found with windows proportionate to the scale of the gable.

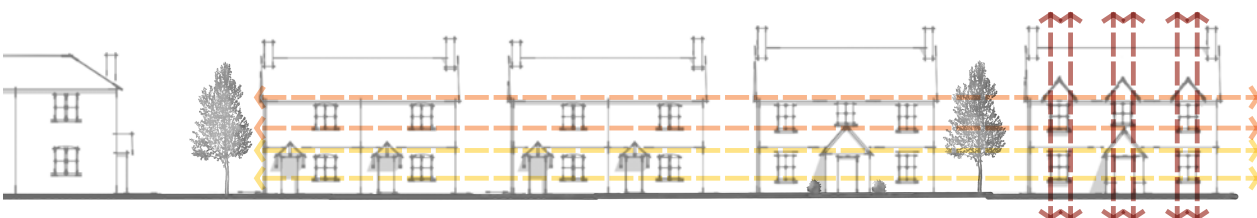


Illustration of vertical and horizontal rhythm in the street scene through the placement of windows and detailing.

Housing Type and Height



Terraced Housing - 1.5 - 2 storeys

Typical of the Plan area. Often with a form of dormer.



Terraced Cottage - 2 storeys

Typical of the Plan area. Usually a row of terraced cottages of 4 or more. Often set back from the road with slate roof and white painted pebble dash.



Semi-detached Cottages - 2 storeys

Fairly typical of the plan area. Usually have large gaps in built form either side of the semi-detached dwellings.





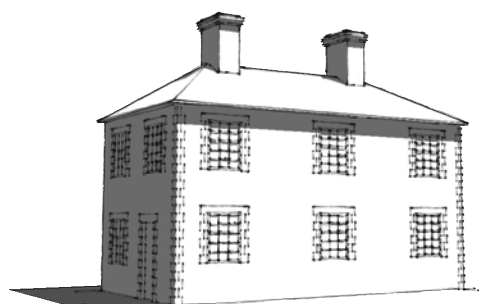
House - 1.5 - 2 storeys

Dual aspect property, often a pair of semi-detached cottages rather than a single dwelling. Dormers often sit on the eaves line.



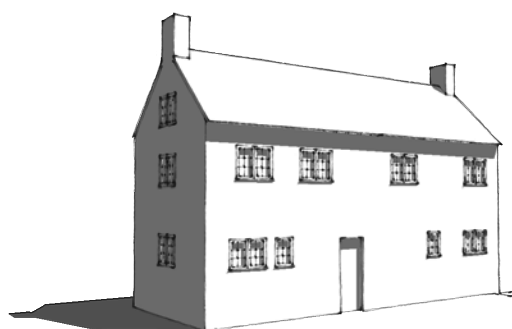
House - 1.5 - 2 storeys

Dual aspect property, often a pair of semi-detached cottages rather than a single dwelling. Dormers often sit on the eaves line.



Focal building 2.5 - 3 storeys

Not usually found in the Plan area other than in modern estate development. These are more likely to be older focal properties.

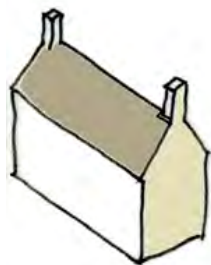


House - 1.5 - 2 storeys

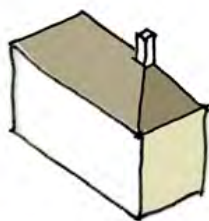
Dual aspect property, often a pair of semi-detached cottages rather than a single dwelling. Dormers often sit on the eaves line.



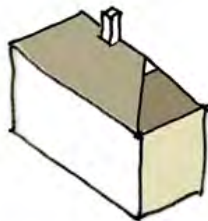
Roof Form Examples



Gabled Roof: commonplace throughout the parish.



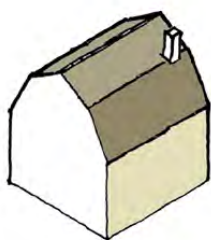
Hipped Roof: not frequently found in the parish.



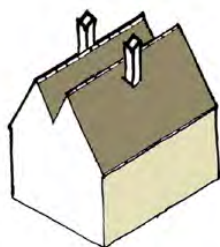
Hipped Roof with Gablet: not frequently found in the parish.



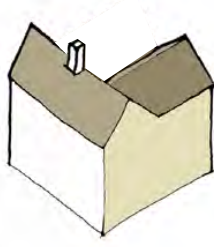
Half Hipped Roof: not commonly found in the parish.



Mansard Roof: rarely found in the parish, except on period properties.



'M' Shaped Double Gable: limited to farmhouses and later extensions.



'L' or 'T' Shaped Gable in front Standard Gable Roof: commonplace throughout the parish.



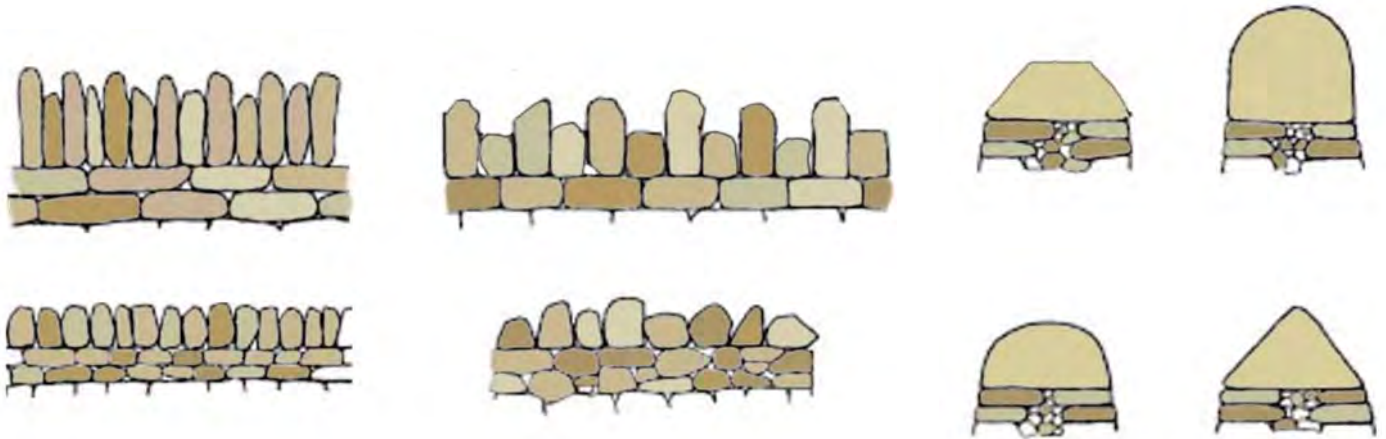
CODE SH.11 - Scale, Height, Form and Massing

- a. New development will be more likely to integrate successfully with the settlement if the scale, height and massing of new buildings demonstrates consideration for the context of the original buildings within the area.**
- b. The Character Appraisal highlights that the majority of properties are 1.5 -2 storeys in height. This should only be exceeded where this is a focal or landmark building.**
- c. Buildings should not be designed in isolation. Whether they are of traditional or contemporary design, buildings should be part of a design concept for the whole site. This will need to be explained in a Design and Access Statement accompanying the planning application.**
- d. New dwellings should draw on the local forms of development as shown below.**
- e. New houses that respect the existing height and follow the roofline of adjacent houses should be encouraged. Similarly, proposed extensions are more likely to be successful if they do not exceed the height or footprint of the original building.**
- f. Roofs should be designed to reflect the style of the proposed development and its context.**
- g. Careful attention should be paid to roofing materials, pitch, eaves and verge details and the inclusion of chimney stacks or other features that project above the ridge line.**

Where development affects the boundaries of a property, new development should consider boundary treatments which are common or complementary to the street.

In the majority of areas, boundary treatments such as stone garden and vegetated hedgerows are common. A careful balance needs to be struck between gated entrances providing security and dominating the street scene.

Stone Coping Details



Variety of Boundary Treatments in Shellingford



CODE SH.12 - Boundary Treatment

- Plot boundaries should be well contained by stone walls and/or hedges in keeping with those shown above.
- Close board fencing is suburban and is not appropriate without sufficient planting to screen.
- Low key, open timber pedestrian gates are appropriate.
- Vehicle gates should reflect the agricultural character of the parish or be in context with the boundary.
- Materials that complement the street scene will be encouraged provided they are in context with the local vernacular.

CODE SH.13 - Garages and Outbuildings

Garages, cycle stores and bin stores are a feature of modern living and should be included as an integral part of the overall design from the outset.

- The design of outbuildings and bin storage should be subordinate to the main property, either as free standing structures or as additional forms to the main building.
- Adequate bin storage where provided on plot should be accessible from the front or side of homes. In communal buildings these should be sited for ease of access to all residents.

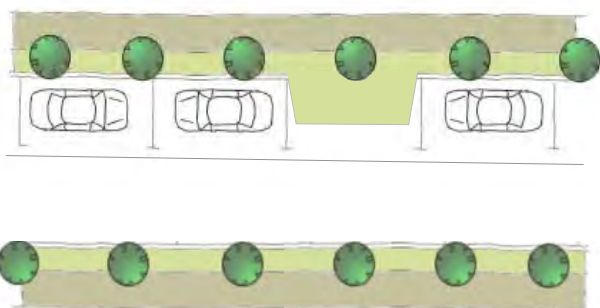
Outbuildings



Off-Street Parking

Parking can be located to the rear of properties, but it should be ensured there is sufficient natural surveillance.

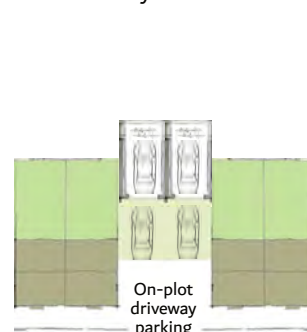
Integrating on-street parking



Rear courtyard parking with space for cycles

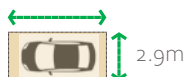


Garage parking with space for cycles



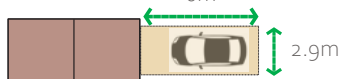
Parking Examples

5.5m



A parking space should be at least 5.5m x 2.9m but ideally further space should be allowed on a driveway to walk alongside a car.

6m



A parking space in front of a garage or dwelling should be at least 6m in length to allow for the door to be opened without moving the vehicle or placing the vehicle overhanging the footway.

Garage

10m



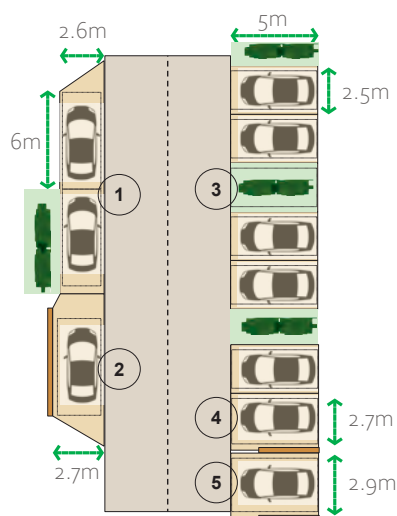
A tandem parking space should be at least 10m x 2.9m with additional space if located in front of a garage.

7m



Garage - internal

A garage must have an internal dimension of at least 7m x 3m.



- 1 Parallel parking should be 6m long and 2.5m wide so doors can open into street or footway.
- 2 Parallel parking spaces which are restricted by a fence or wall etc. will need to be wider and 2.7m is recommended.
- 3 Perpendicular spaces must be 5m long and 2.5m wide if next to another parking space or open space.
- 4 If constrained along one edge then the width should increase to 2.7m.
If constrained on both sides the width needs to increase to 2.9m.
- 5 Within parking courtyards parking spaces should be at least 5.5m x 2.9m. The rows should be separated by at least 6m to allow ease of manoeuvring.

At least 5% of spaces should be suitable for use by disabled people.

CODE SH.14 - Vehicle and Cycle Parking

The design of parking areas should be appropriate to the scale and location of the residential development. Within Shellingford Parish road widths are traditionally narrow and rural in character. On street parking is commonplace but usually only on a single side of the road due to width constraints.

secure, well overlooked and lit, whilst being in close proximity to the dwellings it serves. Where possible, these spaces should be directly accessible from the dwelling or any associated amenity space to minimise walking distance.

- a. Away from the public highway, parking areas should be surfaced using a permeable material to provide adequate natural drainage.
- b. On plot parking should not dominate the public realm and where possible should be set back behind the building line.
- c. Parking can be provided to the rear either on plot or in a rear courtyard. The latter can have gated access.
- d. Garages should be designed to provide cycle storage as well as an alternative to garden sheds.
- e. Where on street vehicle parking is considered appropriate in new development the parking should integrate with the landscaping of the street.
- f. Where courtyard parking is proposed, this must only be where homes directly overlook and front the parking areas. They should be
- g. A courtyard should be designed with sufficient planting and landscaping in front of properties to soften any hard urban streetscape.
- h. Car ports are preferable to a garage for parking, as often garages are either converted or used for personal storage rather than parking. This loss of parking then exacerbates current parking issues.
- i. Where garages are proposed it should be considered whether a condition limiting its use and conversion may be appropriate.
- j. Where garages are provided these should be set back from the building line to ensure sufficient space is available to park without being overly conspicuous.
- k. Garages must be large enough to provide space for cycles.
- l. All houses with on-plot parking should have a dedicated Electric Vehicle (EV) charging point.



Original dwelling in white with enlargements proposed via new building works in grey. Numerous piecemeal extensions such as this could be detrimental to the original character of the building and appear fussy and out of character with more simple properties.

CODE SH.15 - Extensions to Buildings

Extensions to dwellings and other buildings can alter the character of the street scene and/or the village if not carefully designed. New development should:

- a. Ensure the scale of development is in keeping with the street and appropriate to the size of the plot.
- b. There is a positive relationship between the building and the street. It should be positioned so that it does not dominate the street scene.
- c. Reference should be taken from the local vernacular to determine the most appropriate proportions for the replacement dwelling.
- d. It should not be dominant or overbearing to neighbouring properties.
- e. Respect existing building lines and the orientation of adjacent buildings, in addition to the pattern of buildings and spaces in a street.
- f. Where appropriate, reflect any architectural detailing on the existing building as they are important features which define character. Such detailing could include plinths, cills, lintels, decorative stonework and quoins, barge boards and cornices, fascias and/or chimney designs.

CODE SH.16 - Renovations

- a. Restoration of existing buildings of age in the parish is preferable to the demolition and replacement of buildings.
- b. Where buildings are modernised, it is advised existing proportions of doors and windows should be considered.
- c. Use appropriate materials and techniques for extensions.
- d. A mix of modern and traditional materials can be appropriate and allows for greater innovation in design.

Agricultural Buildings

The parish contains a number of historic farms which are still in use or retain many agricultural elements. However, there are some redundant farm buildings. These are often converted under permitted development (where appropriate).

Successful Conversion to Holiday Lets



A Successful Example of Modern Development Within Shellingford Parish



The successful example of modern development within Shellingford Parish (see above) incorporates a traditional terraced form with a pitched dormer and symmetrical fenestration.

The building materials are in keeping with the local character using rubble coursed stone, soft wood casement windows and stone slates in a

diminishing course effect.

The developer has created an interesting but subtle difference by using green open canopy porches and doors which fit with the colour palette seen around Shellingford Parish.

The development also successfully incorporates sufficient off road parking.

CODE SH.17 - Building Conversions

- a. **It is essential that the key features of the building should be retained in any development proposal. The introduction of urbanising features would not be appropriate, as would the loss of key vegetation.**
- b. **Agricultural buildings contribute to the rural setting, the character and appearance of Shellingford and conversions to these buildings should reference age, design, form, materials used, roof structure and the presence of any architectural detailing.**
- c. **The introduction of overtly domestic features and additional window or door openings tend to be out of character.**
- d. **Retention of exiting features and a simple design approach is usually most appropriate.**
- e. **Large extensions or ancillary buildings are not usually appropriate for conversions. Landscaping and boundary treatments need careful attention and should be designed to be as informal and simple as possible.**

SUDS and Flood Resilience

The Character Appraisal identifies that the land in Shellingford village surrounding the River Ock and its tributaries is constrained by flooding.

In relation to surface water flooding, Shellingford village has a number of areas which are prone to medium or high risk of flooding. It is therefore key that appropriate drainage solutions are found.

CODE SH.18 - SUDS and Flood Resilience

- a. **Drainage should be considered early in the development planning and design process, particularly where surface water and fluvial flood risk is identified. The drainage scheme should be designed along with other key considerations.**
- b. **Existing watercourses, existing surface water flow routes across the site and existing drainage systems must be taken into consideration and the drainage strategy should mimic natural drainage patterns as closely as possible.**
- c. **Adoption of permeable paving solutions instead of tarmac is supported. Gravel is a widely used surface in the parish but suitable containment strips or materials should be used to ensure that there is limited spillage onto the highway.**
- d. **Permeable pavements reduce flood risk by allowing water to filter through. They should:**
 - **respect the material palette,**
 - **help to frame the building,**
 - **be easy to navigate by people with mobility aids,**
 - **be in harmony with the landscape treatment of the property, and**
 - **help define the property boundary.**
- e. **Gardens, soft landscaping and the use of appropriate planting should be maximised to reduce the overall area of impermeable hard surfacing. The introduction of non-porous hard surfaces is likely to increase surface water volumes and increase local flood risk.**
- f. **Green space can be incorporated for natural flood protection e.g. permeable landscaping, swales etc.**
- g. **The collection of water within new development is encouraged in order to collect rainwater from roofs and reduce the overall rainwater runoff impact of any development. This can take the form of a water butt on an individual property, to a large scale water tank on larger sites with rainwater and grey water stored and reused to reduce the demand on mains supply.**
- h. **Where flood water currently adversely affects a property, any new proposals to reduce the impact or to improve matters would be supported, subject to design and effect on biodiversity.**

Low Carbon Buildings

The following matters should be included in new development. Whilst new buildings will be required to follow Building Regulations, it may also be possible to retrofit energy efficiency measures to existing buildings.

CODE SH.19 - Low Carbon Buildings

- a. Insulation - greater levels of insulation to be provided in lofts and walls (both for cavity and solid walls).**
- b. Air tightness and minimisation of draughts. Doors and windows are the most common source of problems, however floors particularly suspended floors can be easily insulated.**
- c. New windows should be replaced by double or triple glazing, but should follow the guidance above. South facing windows may need to be shaded and north facing windows should avoid larger panes of glass, which would enable greater heat loss.**
- d. Low carbon heating alternatives to gas or oil boilers must be sought. Solar panels are encouraged.**
- e. Water and electricity usage can be reduced by using more efficient products.**
- f. Where possible, materials should be reused in situ to reduce waste and embodied carbon.**
- g. Maximise green space, green roofs and walls to reducing effects of flooding and overheating.**
- h. In areas prone to river and surface water flooding, consider floor levels and the position of items sensitive to water ingress. Design gardens and boundary treatments to allow water to move through without obstruction.**